



December 21, 2023

Association Board of Directors

**C/o: The Waterfront on the Ocean at Juno Beach Condominium Association, Inc.**

800 Ocean Dr

Juno Beach, FL 33408

THE WATERFRONT ON THE OCEAN  
MILESTONE INVESTIGATION REPORT  
PHASE I

Inspection Dates: 11/02/23

Dear Board Members:

We have conducted a Phase I inspection of the main building and accessory structures at the above referenced location in accordance with the requirements and guidelines of Senate Bill 4-D (dated 5/2022) and Florida Statue 553.899 "Mandatory structural inspections for condominium and cooperative buildings". A visual examination of habitable and non-habitable areas of the building and accessory structures was conducted including all major structural components. The inspection was intended to provide a qualitative assessment of the structural conditions of the building and accessory structures.

Visual and acoustical inspections of accessible areas were performed on roof, rooftop structures, stair towers, balconies, exterior walls, select units, and common areas interior spaces, garage, and other areas with structural components. All observed surface imperfections such as concrete and masonry cracks, spalling, distortion, sagging, excessive deflections, bulging, significant misalignment, signs of leakage, and peeling of finishes were located, identified, and recorded. Manual procedures such as tapping and/or chipping of small areas of concrete and surface finishes for closer examinations were conducted to sample and/or test where visual examination was insufficient. Generally, unfinished areas of buildings such as utility spaces, maintenance areas, stairwells and elevator shafts were utilized for such purposes.

The purpose of the inspection was to assess the condition of the structure, identify areas needing repair, and to estimate the extent of repairs needed. All findings and observations were recorded and included as part of this report. The enclosed. Also enclosed are (1) general description of the building, (2) summary of findings, (3) inspection photos showing typical damage, and (4) drawings and tables showing the type and location of structural damage observed. The inspection or survey results can be used as a guideline for the types of repairs needed and locations. Actual repair quantities can be significantly higher than survey results.



We found the overall condition of the building to be **GOOD** with NO immediate structural repairs required at this time and only minor stucco and concrete damage observed.

Observations and Findings:

Inspection results are summarized in Section 0400 and repair locations are detailed in Section 0500.

Based on the inspection of the building, including the roof, rooftop structures, stair towers, balconies, exterior walls, select units, and common areas interior spaces, garage, and other areas with structural components, it has been determined that the building is in good condition overall. Our observations are as follows:

Stucco cracks and delamination on the roof top mechanical room walls,  
Minor concrete spalling, cracks and water stains on garage ceilings,  
Loose rail post pockets, cracks and spalling on the railing curbs.

Recommendations:

There are NO structural repairs required at this time. There are minor repairs that can be made to eliminate future water intrusion. These repairs are outlined in Section 0500.

In summary, we found the building to be **SAFE** with NO structural repairs required. If you have any questions, please do not hesitate to contact us.

Respectfully submitted,  
Bunker Engineering and Construction Services, Inc.

*Edgar V. Duenas*

Edgar V. Duenas, P.E.  
Structural Engineer

Enclosed:

- (1) Table of Contents (1)
- (2) General Property Description (4)
- (3) Overall Building Condition and Recommended Repairs (1)
- (4) Investigation Photos (2)
- (5) Balcony Survey Drawings w/ Repair Locations (9)



THE WATERFRONT ON THE OCEAN CONDOMINIUM  
800 OCEAN DRIVE  
JUNO BEACH, FL 33408  
  
MILESTONE INSPECTION REPORT  
OCTOBER 2023

PHASE I

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## THE WATERFRONT ON THE OCEAN CONDOMINIUM

800 OCEAN DRIVE  
JUNO BEACH, FL 33408

### MILESTONE INSPECTION REPORT OCTOBER 2023

#### PHASE I

## SECTION 0100

### GENERAL PROPERTY DESCRIPTION



**THE WATERFRONT ON THE OCEAN CONDOMINIUM****800 OCEAN DRIVE  
JUNO BEACH, FL 33408****MILESTONE INSPECTION REPORT  
OCTOBER 2023****GENERAL PROPERTY DESCRIPTION**

ITEM	DESCRIPTION	QUANTITY / LOCATION
Structures	13-story multi-family residential building constructed in 1996. Reinforced concrete and masonry w/ stucco exterior.	One(1) building, total 60 residential units
Roof	Flat roof w/ built-up roofing system, and TPO on parapet walls	One(1) in total with A/C cooling tower installed
Balconies	Cantilever concrete slabs with aluminum railings and block walls	For stack 01 and 05, One(1) balcony per unit, For stack 02 – 04, Two(2) balconies per unit in the building. Total 59 balconies.
Garage	Located below building	Entrance located on NW & SE sides of the building
Stairs	Interior stair vestibules	Two(2) located at interior of the building
Electrical / Meter Room	Main meter room and electrical rooms	One(1) electrical/meter room located on ground floor within garage
Elevator	Cable ac electric motor driven elevator	Four (4) Elevators and Two Elevator Rooms located at roof of building
Pool & Pool Deck	Concrete in-ground	One(1) located on the South side of the building
Driveway / Pavers	Driveway concrete pavers on grade	One(1) located on the West side of the building
Generator Room	Concrete framed with diesel tank	One(1) located on the Southwest side of the garage
Storage Rooms and Wine Cellar	Miscellaneous interior rooms concrete framed for wire cages, storage bins, and trash collection.	Located within garage on ground floor.





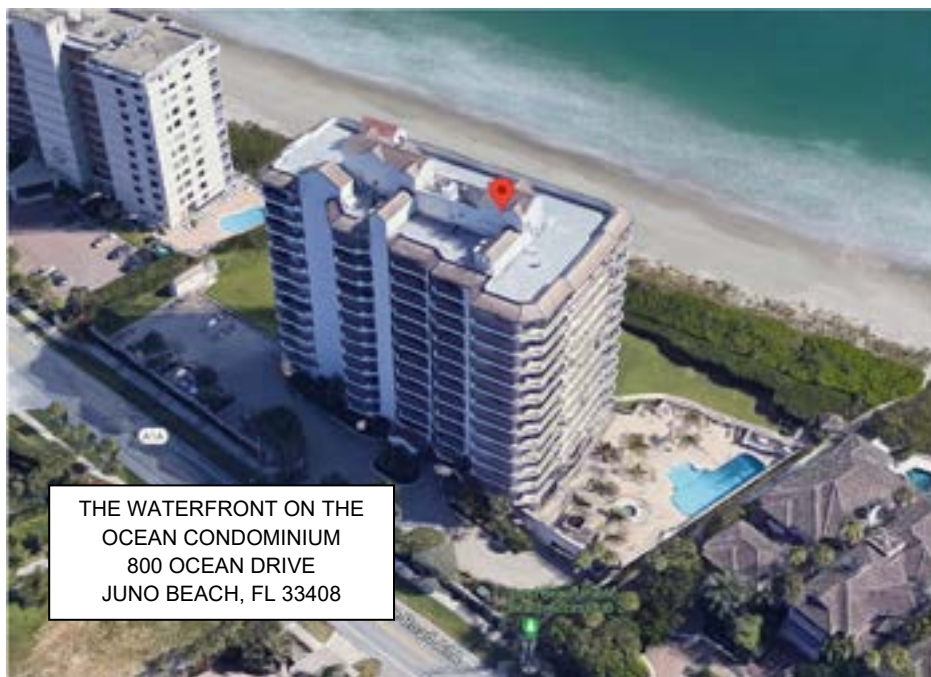
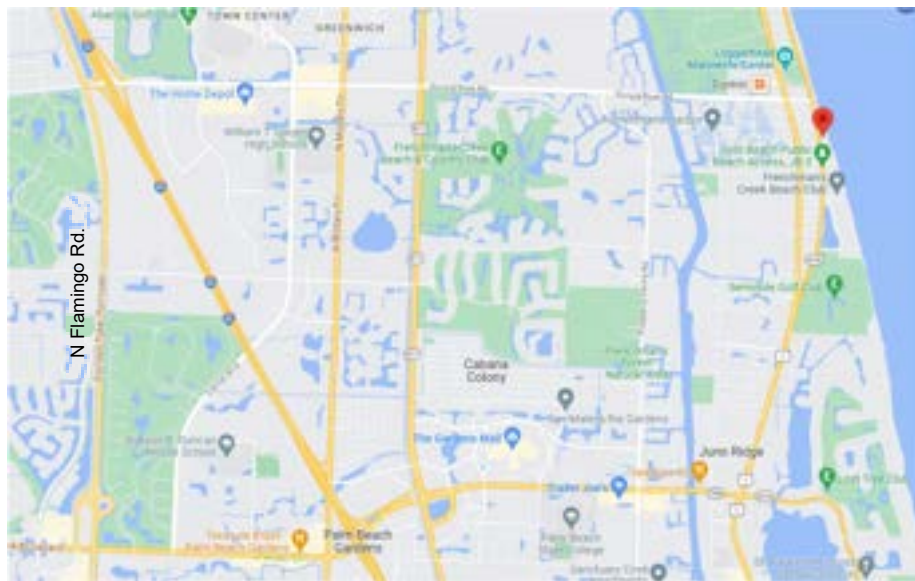
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800 OCEAN DRIVE  
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MILESTONE INSPECTION REPORT  
OCTOBER 2023

LOCATION MAP





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## THE WATERFRONT ON THE OCEAN CONDOMINIUM

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### BUILDING ELEVATIONS



Partial West Elevation



Partial Northeast Elevation



Partial North Elevation



Partial Southwest Elevation



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### SECTION 0200

GENERAL STRUCTURAL CONDITION  
AND RECOMMENDED REPAIRS



**THE WATERFRONT ON THE OCEAN CONDOMINIUM****800 OCEAN DRIVE  
JUNO BEACH, FL 33408****GENERAL STRUCTURAL CONDITION  
AND RECOMMENDED REPAIRS**

ITEM	CONDITION	RECOMMENDED REPAIRS	REPAIR QTY / LOCATION
STRUCTURES	GOOD	NO REPAIRS REQUIRED	NONE
ROOF	GOOD	NO STRUCTURAL REPAIRS REQUIRED, MINOR REPAIRS REQUIRED	SEE SECTION 0500
BALCONIES	GOOD	NO STRUCTURAL REPAIRS REQUIRED, MINOR REPAIRS REQUIRED	SEE SECTION 0500
GARAGE	GOOD	NO STRUCTURAL REPAIRS REQUIRED, MINOR REPAIRS REQUIRED	SEE SECTION 0500
STAIRS	GOOD	NO REPAIRS REQUIRED	NONE
ELECTRICAL / METER ROOM	GOOD	NO REPAIRS REQUIRED	NONE
ELEVATOR	GOOD	NO REPAIRS REQUIRED	NONE
POOL & POOL DECK	GOOD	NO REPAIRS REQUIRED	NONE
DRIVEWAY / PAVERS	GOOD	NO REPAIRS REQUIRED	NONE
GENERATOR ROOM	GOOD	NO REPAIRS REQUIRED	NONE
STORAGE ROOMS AND WINE CELLAR	GOOD	NO REPAIRS REQUIRED	NONE



THE WATERFRONT ON THE OCEAN CONDOMINIUM

800 OCEAN DRIVE  
JUNO BEACH, FL 33408

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OCTOBER 2023

SECTION 0300

INVESTIGATION PHOTOS

INDEX	SHEETS
ROOF	1
BALCONIES	1
GARAGE	1
STAIRS	1
ELECTRICAL ROOM	1
ELEVATOR EQUIPMENT ROOMS	1
POOL & POOL DECK	1
DRIVEWAY / PAVERS	1
GENERATOR ROOM	1
STORAGE ROOM AND WINE CELLAR	1



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## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS ROOF





## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS BALCONIES







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## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS GARAGE

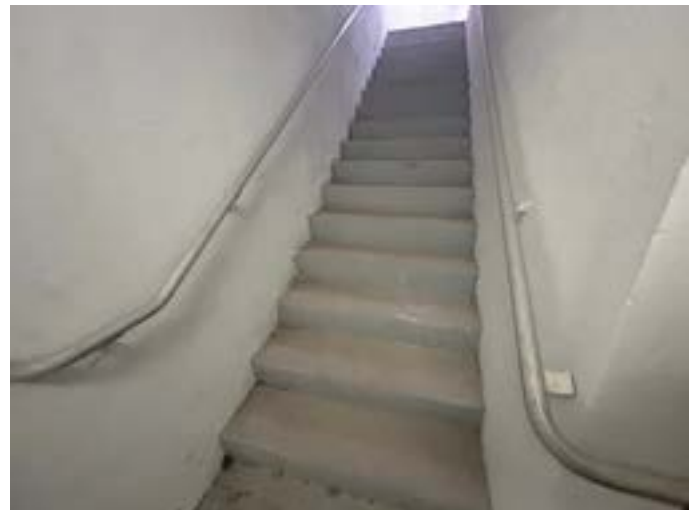




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## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS STAIRS

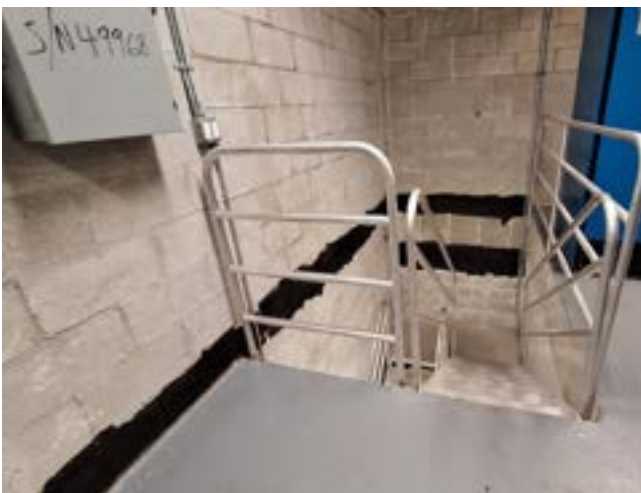


## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS ELECTRICAL ROOM



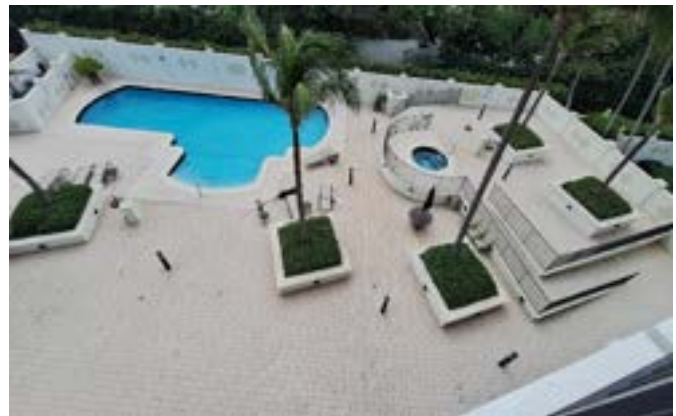


## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS ELEVATOR EQUIPMENT ROOMS





## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS POOL & POOL DECK





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## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS DRIVEWAY / PAVERS





## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS GENERATOR ROOM





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## THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS STORAGE ROOM / WINE CELLAR







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PHASE I

SECTION 0400

OBSERVATIONS AND FINDINGS  
REPRESENTATIVE PHOTOS

INDEX	SHEETS
ROOF	1
BALCONIES	2
GARAGE	1

## THE WATERFRONT ON THE OCEAN CONDOMINIUM OBSERVATIONS & FINDINGS ROOF



Exterior Stucco Wall at  
Roof Elevator Room



Stucco Cracks at  
Exterior Wall at Roof  
Elevator Room



Stucco Cracks at  
Exterior Wall at Roof  
Elevator Room

## THE WATERFRONT ON THE OCEAN CONDOMINIUM OBSERVATIONS & FINDINGS BALCONIES

 A photograph showing a close-up of a concrete block wall railing. A red arrow points to a vertical crack running down the side of a block. The railing has dark metal balusters.	<p>Cracks in Block Wall Railing</p>
 A photograph showing a close-up of a concrete block wall railing. A red arrow points to a horizontal crack and a small area of concrete spalling on the side of a block.	<p>Concrete Spalling in Block Wall Railing</p>
 A photograph showing a close-up of a concrete block wall railing. A red arrow points to a small, dark, circular rust spot on the side of a block.	<p>Rust Spot in Block Wall Railing</p>

## THE WATERFRONT ON THE OCEAN CONDOMINIUM OBSERVATIONS & FINDINGS BALCONIES



Deteriorated Rail Post Pocket at Balcony with Water Intrusion



Deteriorated Rail Post Pocket at Balcony with Water Intrusion



Stucco Cracked and Missing at Balcony Wall



## THE WATERFRONT ON THE OCEAN CONDOMINIUM OBSERVATIONS & FINDINGS GARAGE



Overhead Concrete  
Slab Spall, Parking  
Spot #85



Cracks In Overhead  
Concrete Slab, Parking  
Spot #49



Water Stains at  
Overhead Concrete  
Slab, Parking Spot #80



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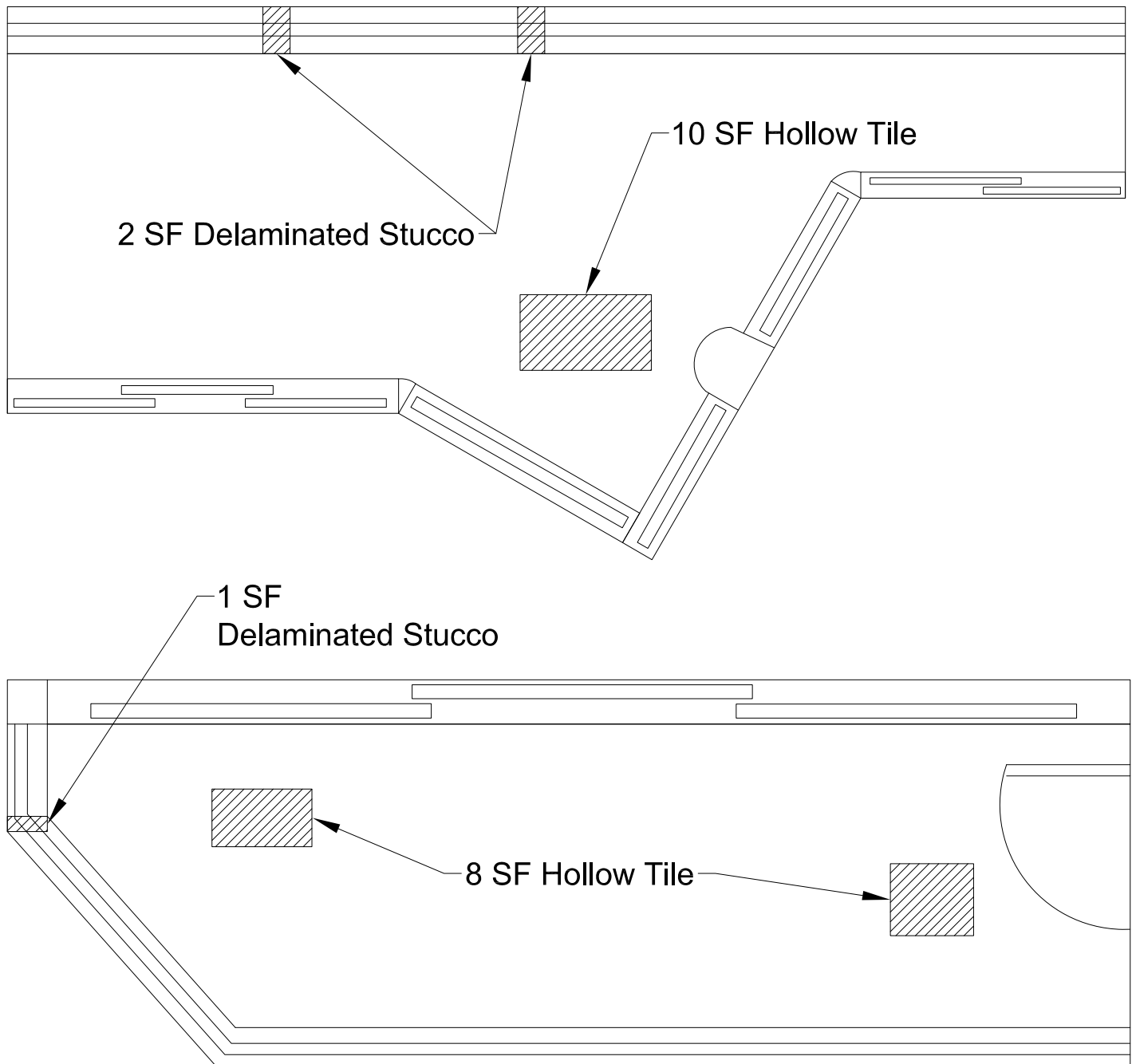
MILESTONE INSPECTION REPORT

OCTOBER 2023

SECTION 0500

REPAIR LOCATIONS

INDEX	SHEETS
SURVEY DRAWINGS	8



Hollow Tile 18 SF.

Stucco Repair 3 SF.

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) N/A

### UNIT 1002



**CONCRETE SURVEY**  
**WATERFRONT**  
**ON THE OCEAN CONDOMINIUM**  
 800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

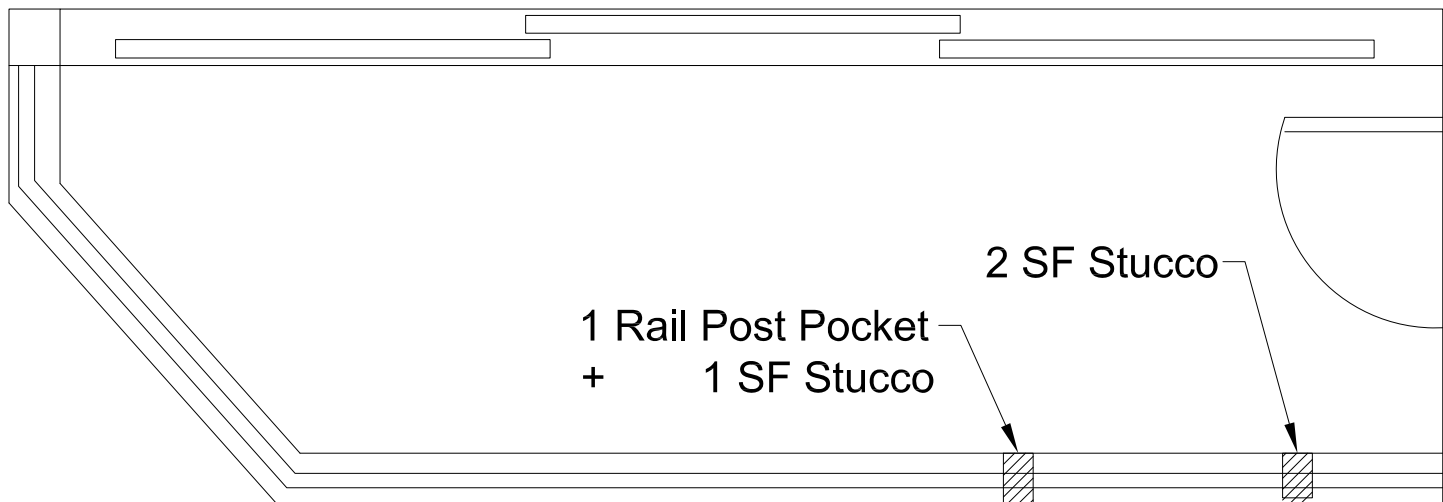
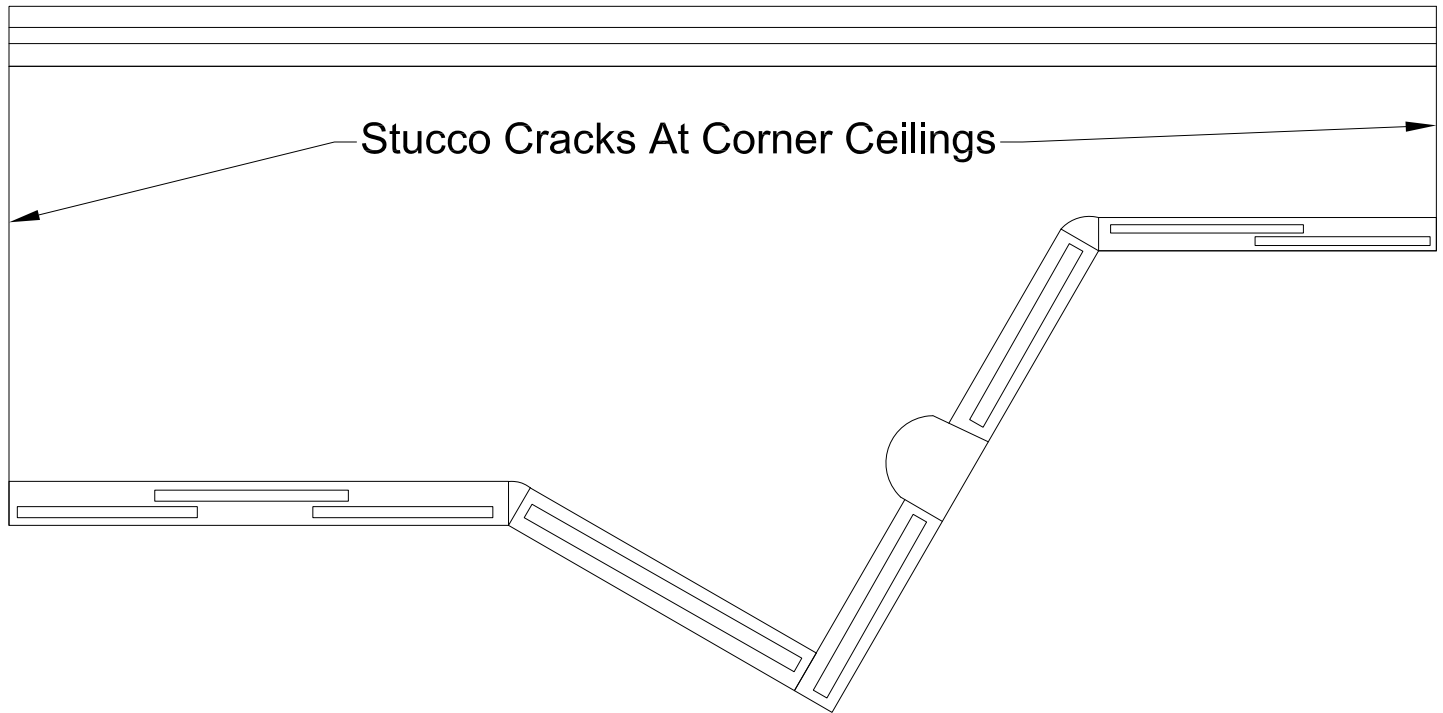
FL REG. ENG. #57831  
 CA# 26268

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SCALE: NTS

SHEET NO.

1 OF 7



Stucco Repair 3 SF.

Rail Post Pocket 1 SF.

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) ACC

### UNIT PH-02



**CONCRETE SURVEY**  
WATERFRONT ON THE OCEAN  
CONDOMINIUM  
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

FL REG. ENG. #57831  
CA# 26268

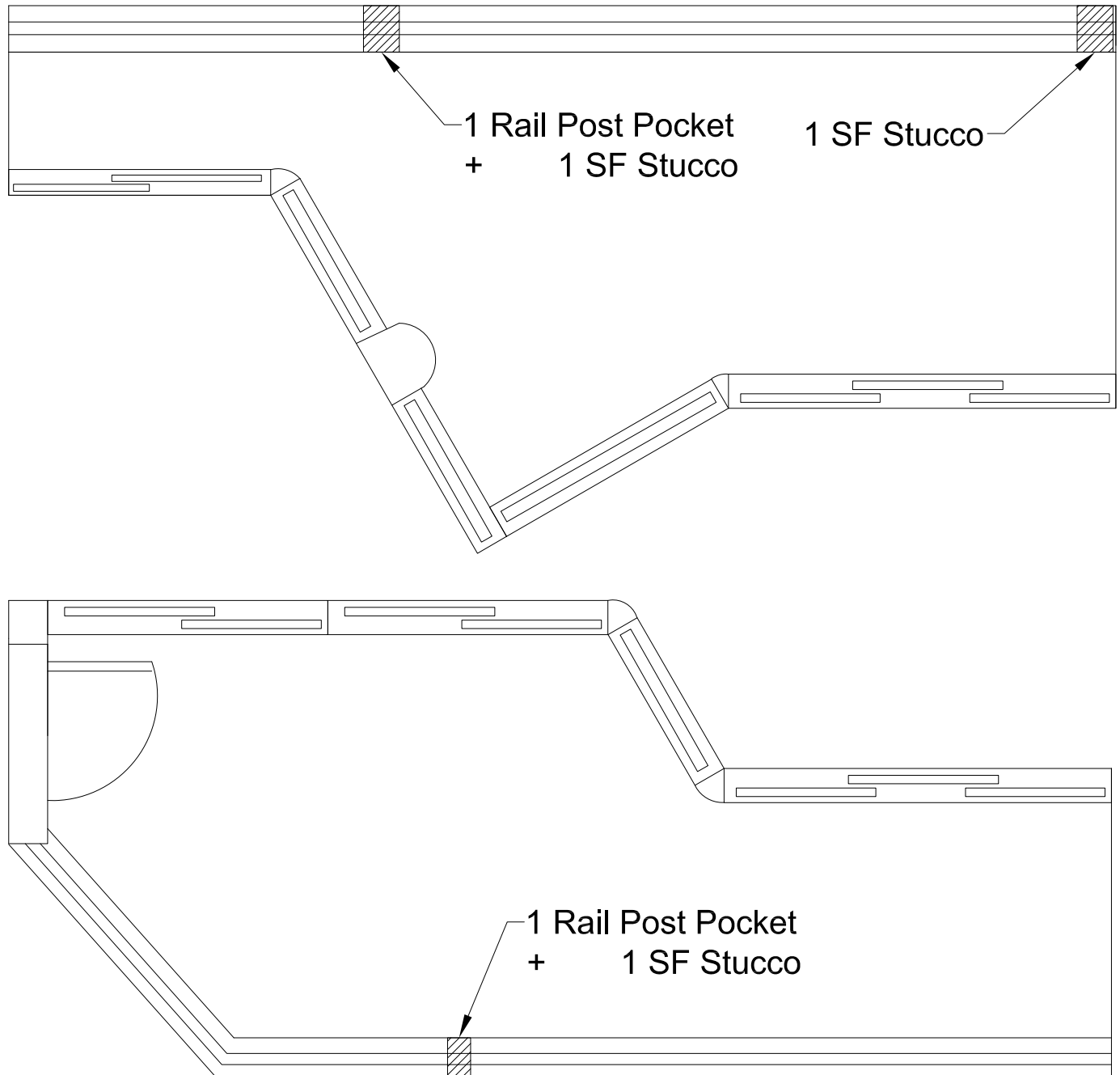
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SHEET NO.

2 OF 7



Rail Post Pocket 2 EA.Stucco Repair 3 SF.Floor Covering (ie. Tile, Kool Deck) TILEHurricane Shutters, (i.e. Accordion, etc.) N/A**UNIT 403**

**CONCRETE SURVEY**  
**WATERFRONT ON THE OCEAN**  
**CONDOMINIUM**

800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

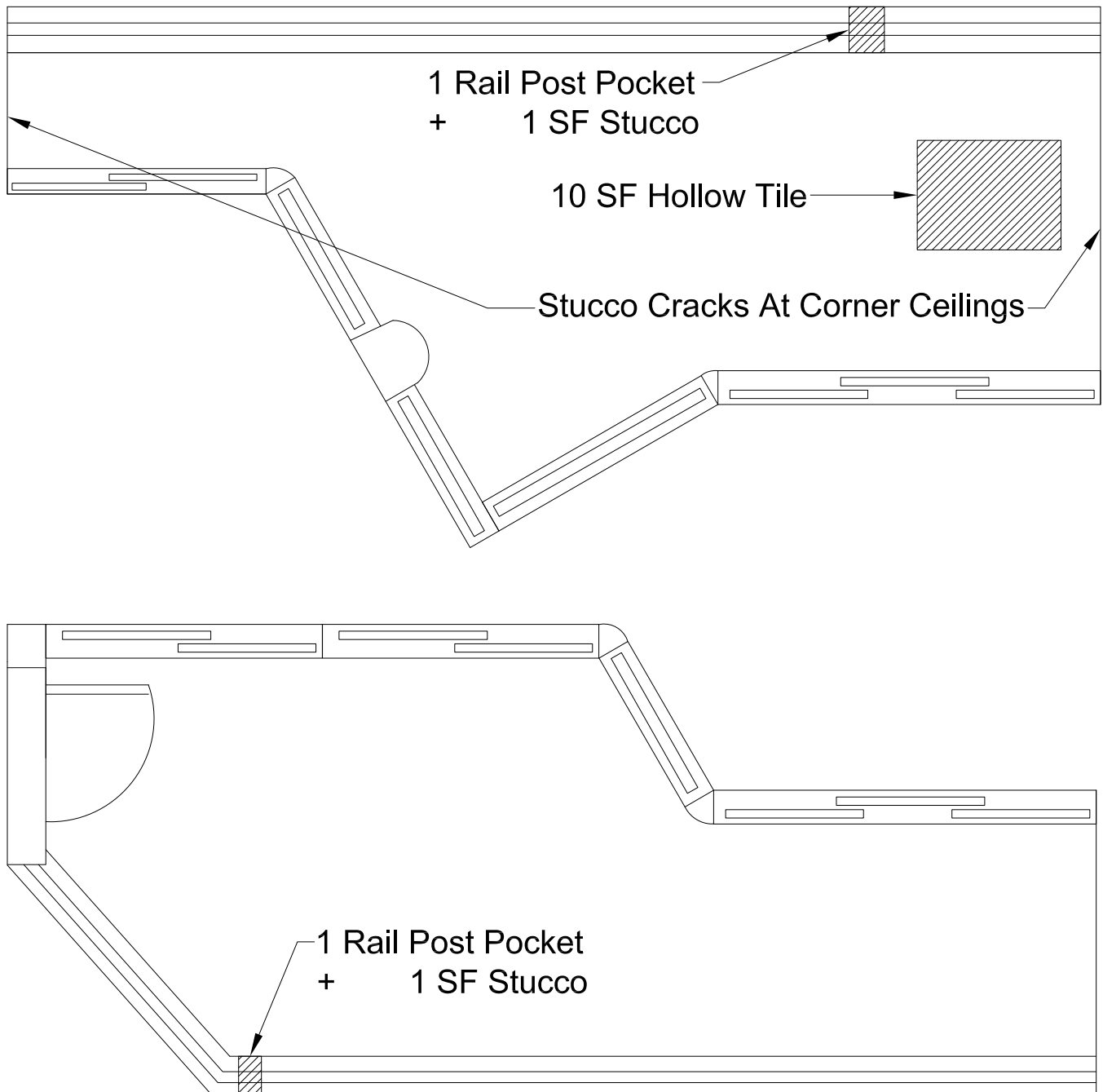
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CA# 26268

DATE: NOV 2023

SCALE: NTS

SHEET NO.

3 OF 7

Rail Post Pocket 2 EA.Stucco Repair 2 SF.Hollow Tile 10 SF.Floor Covering (ie. Tile, Kool Deck) TILEHurricane Shutters, (i.e. Accordion, etc.) N/A**UNIT 1103**

**CONCRETE SURVEY**  
**WATERFRONT ON THE OCEAN**  
**CONDOMINIUM**  
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

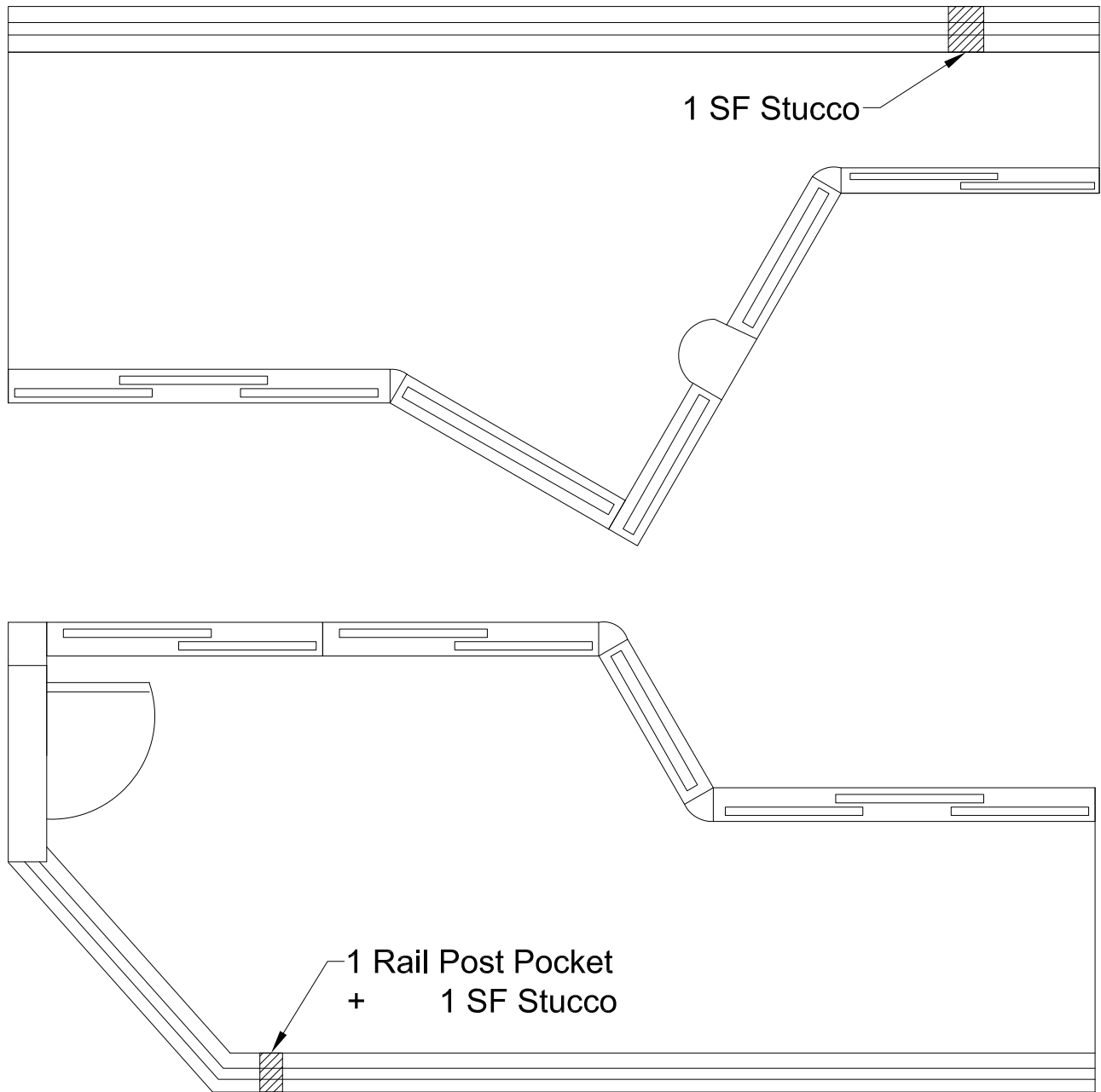
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SHEET NO.

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Stucco Repair   2   SF.

Rail Post Pocket   1   EA.

Floor Covering (ie. Tile, Kool Deck)   TILE  

Hurricane Shutters, (i.e. Accordion, etc.)   ACC  

### UNIT 1104



**CONCRETE SURVEY**  
**WATERFRONT ON THE OCEAN**  
**CONDOMINIUM**  
 800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

FL REG. ENG. #57831  
 CA# 26268

DATE: NOV 2023

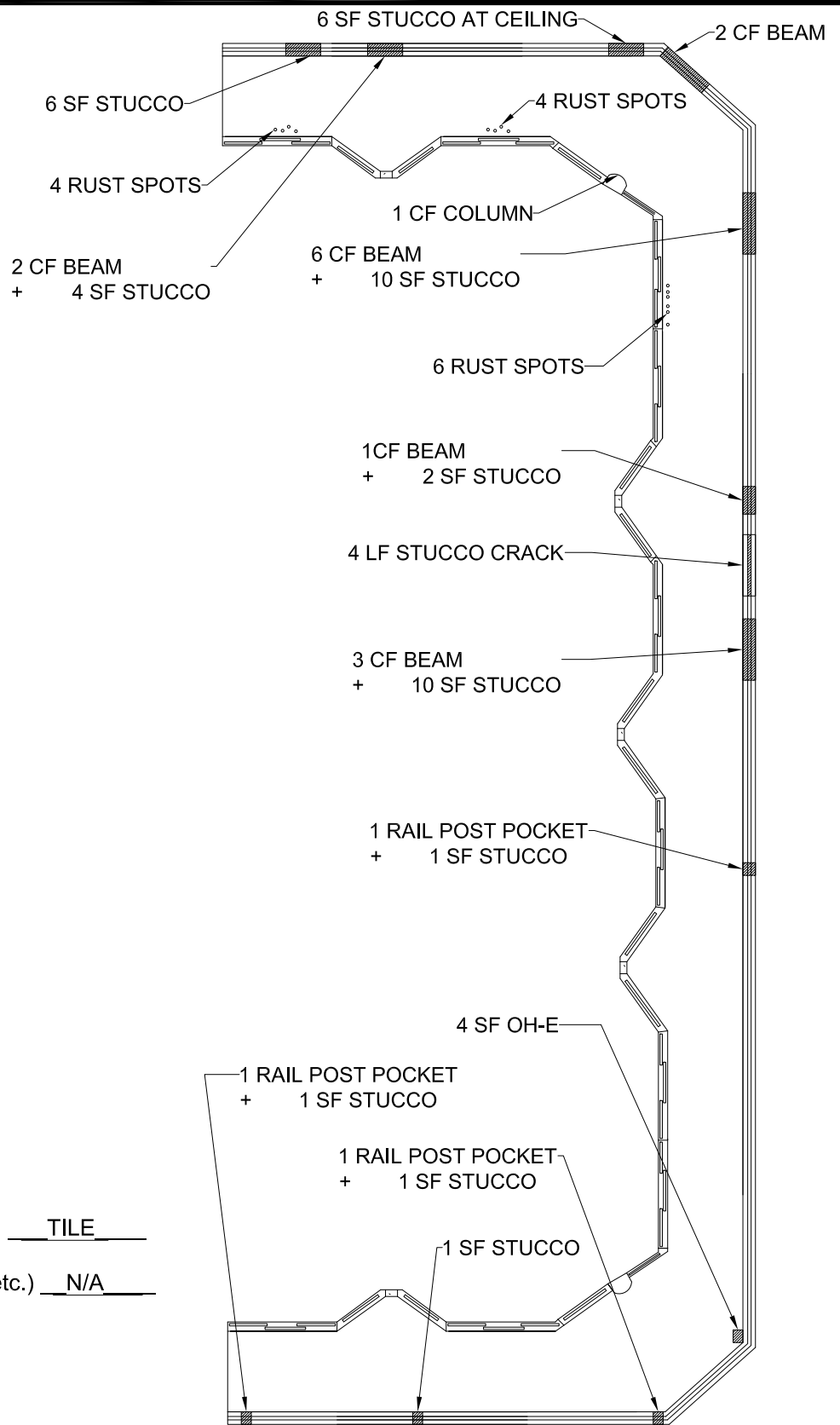
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SHEET NO.

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## UNIT 405



Rust Spot    \_\_10\_\_ EA.

Ovrhd Edge    \_\_2\_\_ LF.

Ovrhd Repair    \_\_2\_\_ SF

Column Repair    \_\_1\_\_ CF

Beam Repair    \_\_14\_\_ CF

Rail Post Pocket    \_\_3\_\_ EA

Stucco Repair    \_\_42\_\_ SF.

Floor Covering (ie. Tile, Kool Deck)    TILEHurricane Shutters, (i.e. Accordion, etc.)    N/A

**CONCRETE SURVEY**  
**WATERFRONT ON THE OCEAN**  
**CONDOMINIUM**  
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

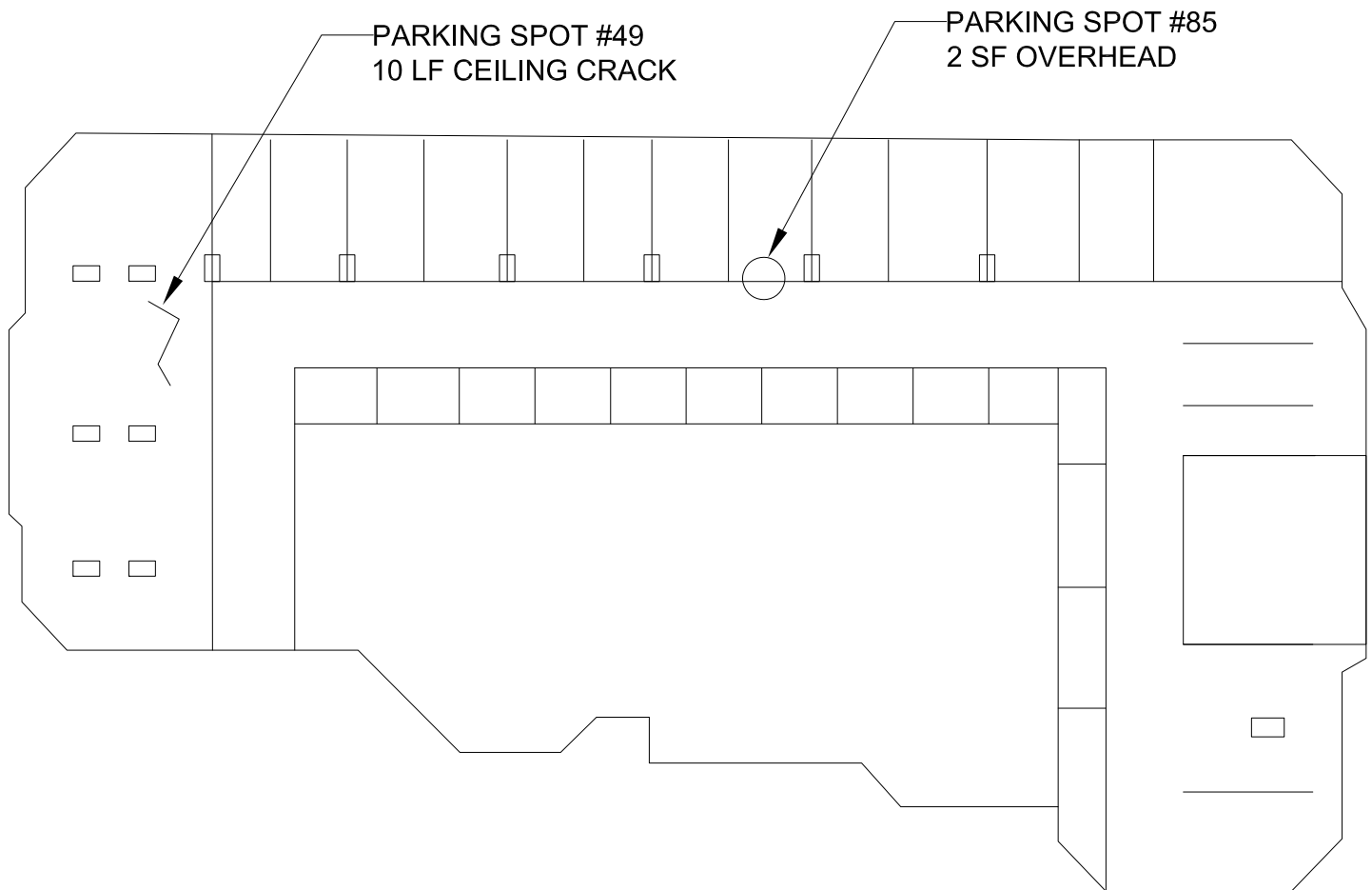
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CA# 26268

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SHEET NO.

6 OF 7



### GARAGE



Ovrhd Repair \_\_\_\_2\_\_ SF

Ceiling Crack \_\_\_\_10\_ LF

Floor Covering (ie. Tile, Kool Deck) \_\_\_\_TILE\_\_\_\_

Hurricane Shutters, (i.e. Accordion, etc.) \_\_\_\_N/A\_\_\_\_

**CONCRETE SURVEY**  
**WATERFRONT ON THE OCEAN**  
**CONDOMINIUM**  
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE

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DATE: NOV 2023

SCALE: NTS

SHEET NO.

7 OF 7

120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460  
PH #561-585-5696 - FAX #561-585-5697

PH #561-585-5696 – FAX #561-585-5697

## STRUCTURAL SURVEY

**CONCRETE SURVEY**  
**WATERFRONT ON THE**  
**OCEAN CONDOMINIUM**  
 800 OCEAN DRIVE,  
 JUNO BEACH, FL 33408

APR. 10, 2013

Y:

NITROGEN

JENAS, P.E.

NG #57831  
AUTH. #26268

SHEET  
1 OF 1

