

December 21, 2023

Association Board of Directors

C/o: The Waterfront on the Ocean at Juno Beach Condominium Association, Inc.

800 Ocean Dr

Juno Beach, FL 33408

THE WATERFRONT ON THE OCEAN
MILESTONE INVESTIGATION REPORT
PHASE I

Inspection Dates: 11/02/23

Dear Board Members:

We have conducted a Phase I inspection of the main building and accessory structures at the above referenced location in accordance with the requirements and guidelines of Senate Bill 4-D (dated 5/2022) and Florida Statute 553.899 "Mandatory structural inspections for condominium and cooperative buildings". A visual examination of habitable and non-habitable areas of the building and accessory structures was conducted including all major structural components. The inspection was intended to provide a qualitative assessment of the structural conditions of the building and accessory structures.

Visual and acoustical inspections of accessible areas were performed on roof, rooftop structures, stair towers, balconies, exterior walls, select units, and common areas interior spaces, garage, and other areas with structural components. All observed surface imperfections such as concrete and masonry cracks, spalling, distortion, sagging, excessive deflections, bulging, significant misalignment, signs of leakage, and peeling of finishes were located, identified, and recorded. Manual procedures such as tapping and/or chipping of small areas of concrete and surface finishes for closer examinations were conducted to sample and/or test where visual examination was insufficient. Generally, unfinished areas of buildings such as utility spaces, maintenance areas, stairwells and elevator shafts were utilized for such purposes.

The purpose of the inspection was to assess the condition of the structure, identify areas needing repair, and to estimate the extent of repairs needed. All findings and observations were recorded and included as part of this report. The enclosed. Also enclosed are (1) general description of the building, (2) summary of findings, (3) inspection photos showing typical damage, and (4) drawings and tables showing the type and location of structural damage observed. The inspection or survey results can be used as a guideline for the types of repairs needed and locations. Actual repair quantities can be significantly higher than survey results.



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We found the overall condition of the building to be **GOOD** with NO immediate structural repairs required at this time and only minor stucco and concrete damage observed.

Observations and Findings:

Inspection results are summarized in Section 0400 and repair locations are detailed in Section 0500.

Based on the inspection of the building, including the roof, rooftop structures, stair towers, balconies, exterior walls, select units, and common areas interior spaces, garage, and other areas with structural components, it has been determined that the building is in good condition overall. Our observations are as follows:

Stucco cracks and delamination on the roof top mechanical room walls,
Minor concrete spalling, cracks and water stains on garage ceilings,
Loose rail post pockets, cracks and spalling on the railing curbs.

Recommendations:

There are **NO** structural repairs required at this time. There are minor repairs that can be made to eliminate future water intrusion. These repairs are outlined in Section 0500.

In summary, we found the building to be **SAFE** with **NO** structural repairs required. If you have any questions, please do not hesitate to contact us.

Respectfully submitted,
Bunker Engineering and Construction Services, Inc.

Edgar V. Duenas

Edgar V. Duenas, P.E.
Structural Engineer

Enclosed:

- (1) Table of Contents (1)
- (2) General Property Description (4)
- (3) Overall Building Condition and Recommended Repairs (1)
- (4) Investigation Photos (2)
- (5) Balcony Survey Drawings w/ Repair Locations (9)



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THE WATERFRONT ON THE OCEAN CONDOMINIUM
800 OCEAN DRIVE
JUNO BEACH, FL 33408

MILESTONE INSPECTION REPORT
OCTOBER 2023

PHASE I

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SECTION 0100

GENERAL PROPERTY DESCRIPTION



THE WATERFRONT ON THE OCEAN CONDOMINIUM
800 OCEAN DRIVE
JUNO BEACH, FL 33408

MILESTONE INSPECTION REPORT
OCTOBER 2023

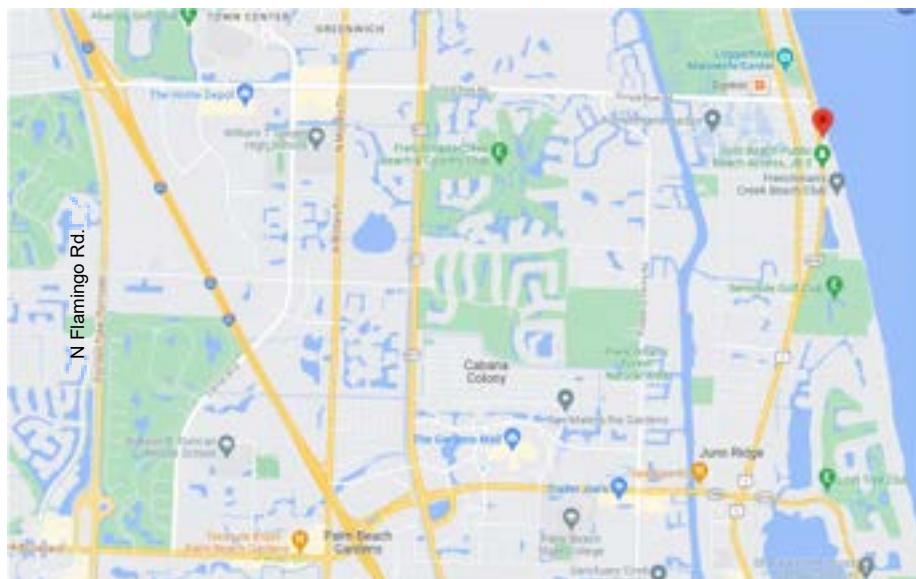
GENERAL PROPERTY DESCRIPTION

ITEM	DESCRIPTION	QUANTITY / LOCATION
Structures	13-story multi-family residential building constructed in 1996. Reinforced concrete and masonry w/ stucco exterior.	One(1) building, total 60 residential units
Roof	Flat roof w/ built-up roofing system, and TPO on parapet walls	One(1) in total with A/C cooling tower installed
Balconies	Cantilever concrete slabs with aluminum railings and block walls	For stack 01 and 05, One(1) balcony per unit, For stack 02 – 04, Two(2) balconies per unit in the building. Total 59 balconies.
Garage	Located below building	Entrance located on NW & SE sides of the building
Stairs	Interior stair vestibules	Two(2) located at interior of the building
Electrical / Meter Room	Main meter room and electrical rooms	One(1) electrical/meter room located on ground floor within garage
Elevator	Cable ac electric motor driven elevator	Four (4) Elevators and Two Elevator Rooms located at roof of building
Pool & Pool Deck	Concrete in-ground	One(1) located on the South side of the building
Driveway / Pavers	Driveway concrete pavers on grade	One(1) located on the West side of the building
Generator Room	Concrete framed with diesel tank	One(1) located on the Southwest side of the garage
Storage Rooms and Wine Cellar	Miscellaneous interior rooms concrete framed for wire cages, storage bins, and trash collection.	Located within garage on ground floor.

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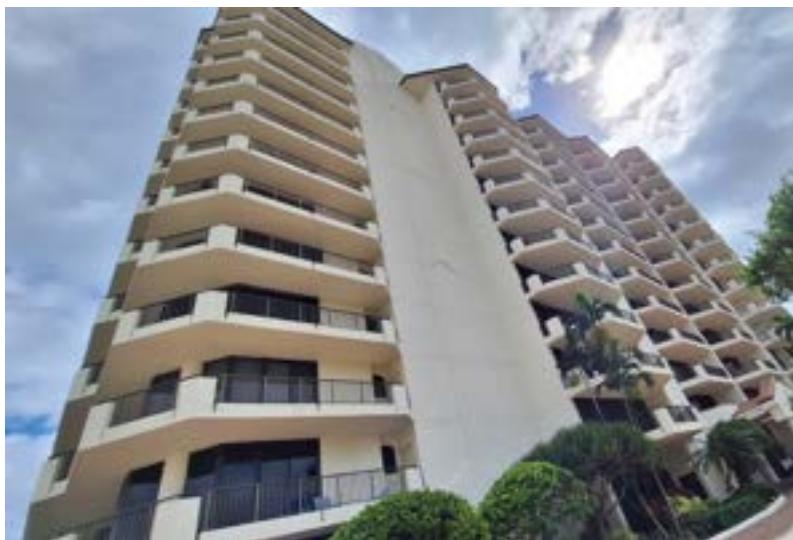
LOCATION MAP



THE WATERFRONT ON THE OCEAN CONDOMINIUM

800 OCEAN DRIVE
JUNO BEACH, FL 33408

BUILDING ELEVATIONS



Partial West Elevation



Partial Northeast Elevation



Partial North Elevation



Partial Southwest Elevation



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MILESTONE INSPECTION REPORT OCTOBER 2023

SECTION 0200

GENERAL STRUCTURAL CONDITION AND RECOMMENDED REPAIRS

THE WATERFRONT ON THE OCEAN CONDOMINIUM
800 OCEAN DRIVE
JUNO BEACH, FL 33408

GENERAL STRUCTURAL CONDITION
AND RECOMMENDED REPAIRS

ITEM	CONDITION	RECOMMENDED REPAIRS	REPAIR QTY / LOCATION
STRUCTURES	GOOD	NO REPAIRS REQUIRED	NONE
ROOF	GOOD	NO STRUCTURAL REPAIRS REQUIRED, MINOR REPAIRS REQUIRED	SEE SECTION 0500
BALCONIES	GOOD	NO STRUCTURAL REPAIRS REQUIRED, MINOR REPAIRS REQUIRED	SEE SECTION 0500
GARAGE	GOOD	NO STRUCTURAL REPAIRS REQUIRED, MINOR REPAIRS REQUIRED	SEE SECTION 0500
STAIRS	GOOD	NO REPAIRS REQUIRED	NONE
ELECTRICAL / METER ROOM	GOOD	NO REPAIRS REQUIRED	NONE
ELEVATOR	GOOD	NO REPAIRS REQUIRED	NONE
POOL & POOL DECK	GOOD	NO REPAIRS REQUIRED	NONE
DRIVEWAY / PAVERS	GOOD	NO REPAIRS REQUIRED	NONE
GENERATOR ROOM	GOOD	NO REPAIRS REQUIRED	NONE
STORAGE ROOMS AND WINE CELLAR	GOOD	NO REPAIRS REQUIRED	NONE



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MILESTONE INSPECTION REPORT
OCTOBER 2023

SECTION 0300

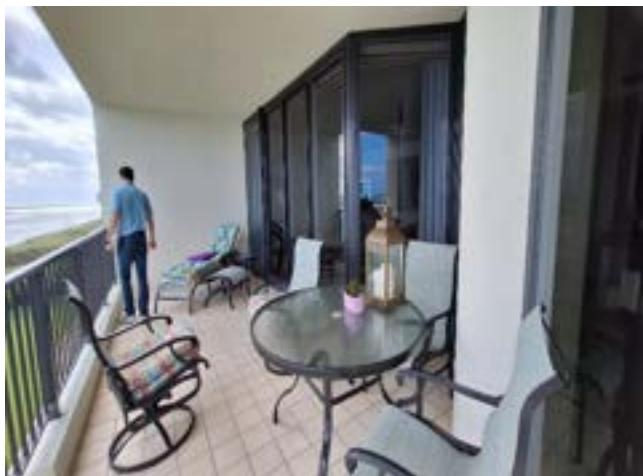
INVESTIGATION PHOTOS

INDEX	SHEETS
ROOF	1
BALCONIES	1
GARAGE	1
STAIRS	1
ELECTRICAL ROOM	1
ELEVATOR EQUIPMENT ROOMS	1
POOL & POOL DECK	1
DRIVEWAY / PAVERS	1
GENERATOR ROOM	1
STORAGE ROOM AND WINE CELLAR	1

THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS ROOF



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS BALCONIES



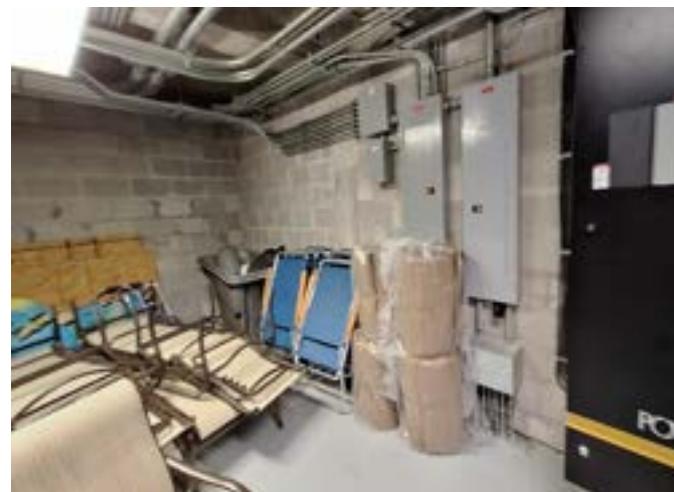
THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS GARAGE



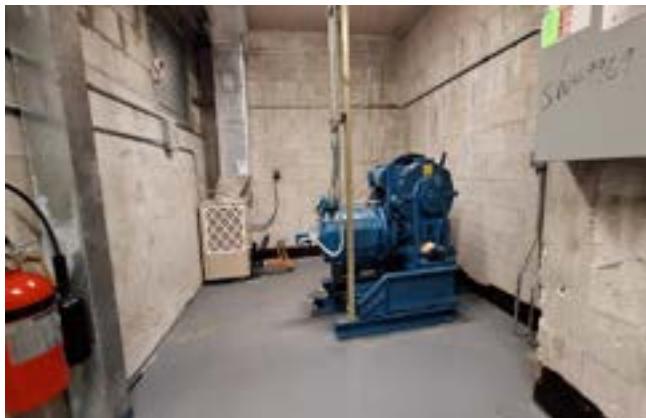
THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS STAIRS



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS ELECTRICAL ROOM



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS ELEVATOR EQUIPMENT ROOMS



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS POOL & POOL DECK



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS DRIVEWAY / PAVERS



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS GENERATOR ROOM



THE WATERFRONT ON THE OCEAN CONDOMINIUM INVESTIGATION PHOTOS STORAGE ROOM / WINE CELLAR





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MILESTONE INSPECTION REPORT
OCTOBER 2023

PHASE I

SECTION 0400

OBSERVATIONS AND FINDINGS
REPRESENTATIVE PHOTOS

INDEX	SHEETS
ROOF	1
BALCONIES	2
GARAGE	1

THE WATERFRONT ON THE OCEAN CONDOMINIUM OBSERVATIONS & FINDINGS ROOF

	Exterior Stucco Wall at Roof Elevator Room
	Stucco Cracks at Exterior Wall at Roof Elevator Room
	Stucco Cracks at Exterior Wall at Roof Elevator Room

THE WATERFRONT ON THE OCEAN CONDOMINIUM
OBSERVATIONS & FINDINGS
BALCONIES

	Cracks in Block Wall Railing
	Concrete Spalling in Block Wall Railing
	Rust Spot in Block Wall Railing

THE WATERFRONT ON THE OCEAN CONDOMINIUM
OBSERVATIONS & FINDINGS
BALCONIES

	Deteriorated Rail Post Pocket at Balcony with Water Intrusion
	Deteriorated Rail Post Pocket at Balcony with Water Intrusion
	Stucco Cracked and Missing at Balcony Wall

THE WATERFRONT ON THE OCEAN CONDOMINIUM
OBSERVATIONS & FINDINGS
GARAGE

 A photograph showing a vertical concrete slab with a horizontal crack. A red arrow points to the right side of the crack, indicating the location of the spall.	Overhead Concrete Slab Spall, Parking Spot #85
 A photograph showing a vertical concrete slab with a horizontal crack. A red arrow points to the right side of the crack, indicating the location of the spall.	Cracks In Overhead Concrete Slab, Parking Spot #49
 A photograph showing a concrete slab with water stains. A red arrow points to the left side of the slab, indicating the location of the stains.	Water Stains at Overhead Concrete Slab, Parking Spot #80



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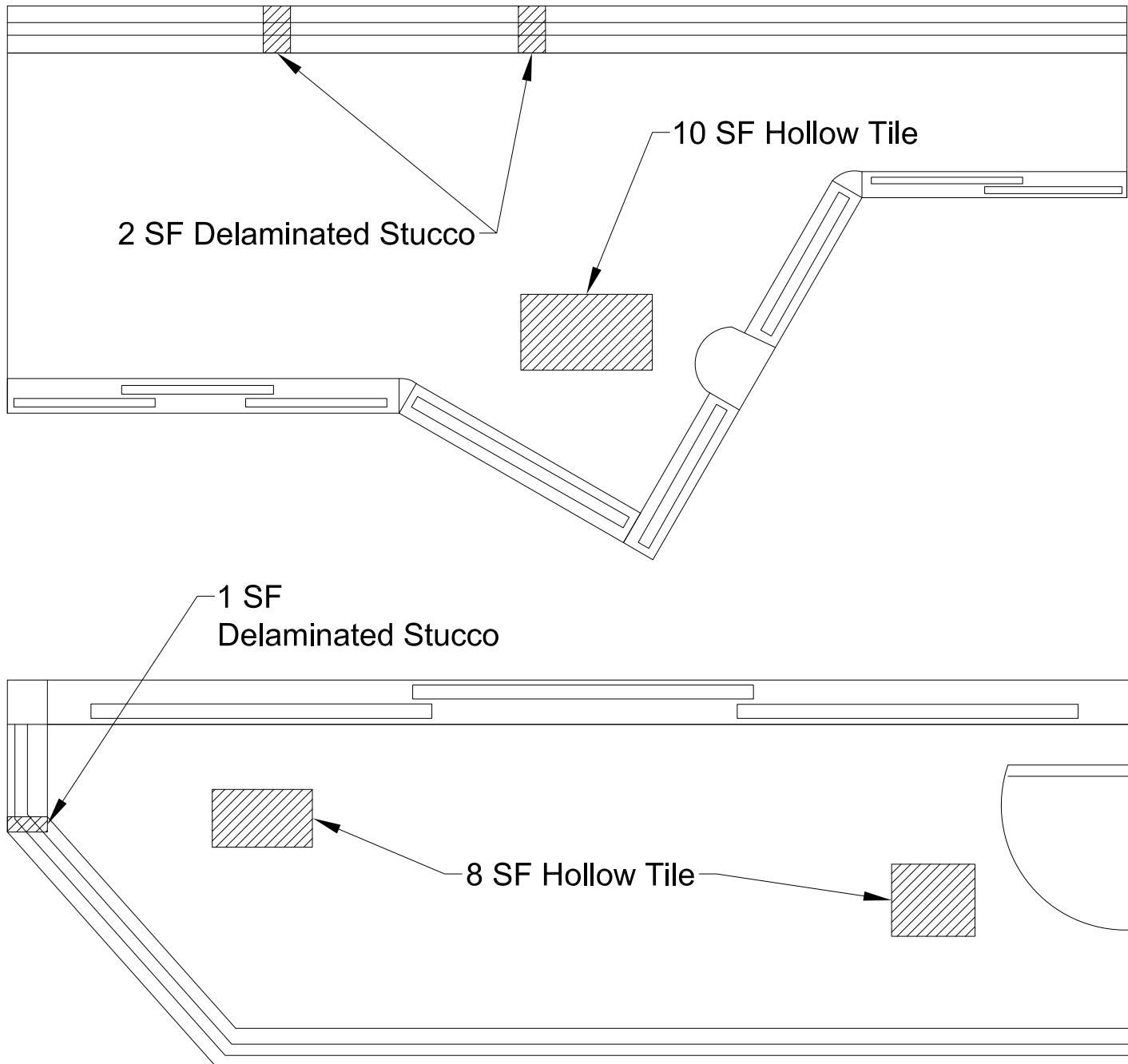
THE WATERFRONT ON THE OCEAN CONDOMINIUM
800 OCEAN DRIVE
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OCTOBER 2023

SECTION 0500

REPAIR LOCATIONS

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Hollow Tile 18 SF.

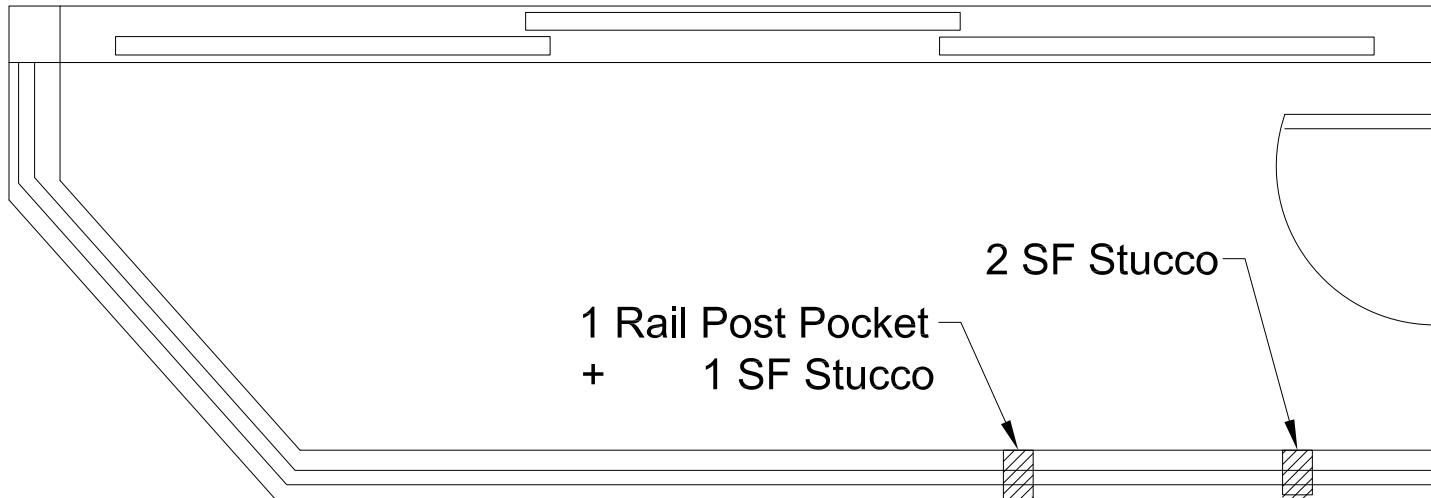
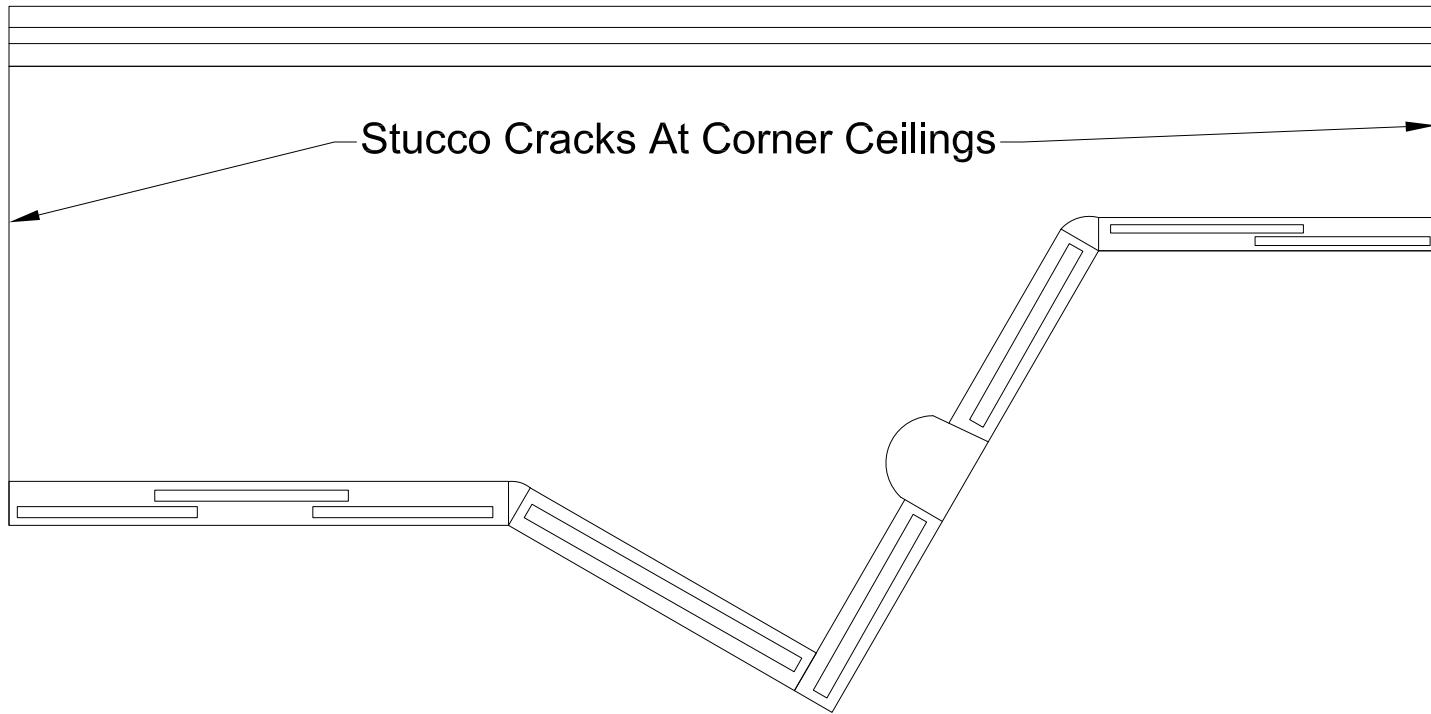
Stucco Repair 3 SF.

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) N/A

UNIT 1002





Stucco Repair 3 SF.

Rail Post Pocket 1 SF.

Floor Covering (ie. Tile, Kool Deck) TILE



Hurricane Shutters, (i.e. Accordion, etc.) ACC

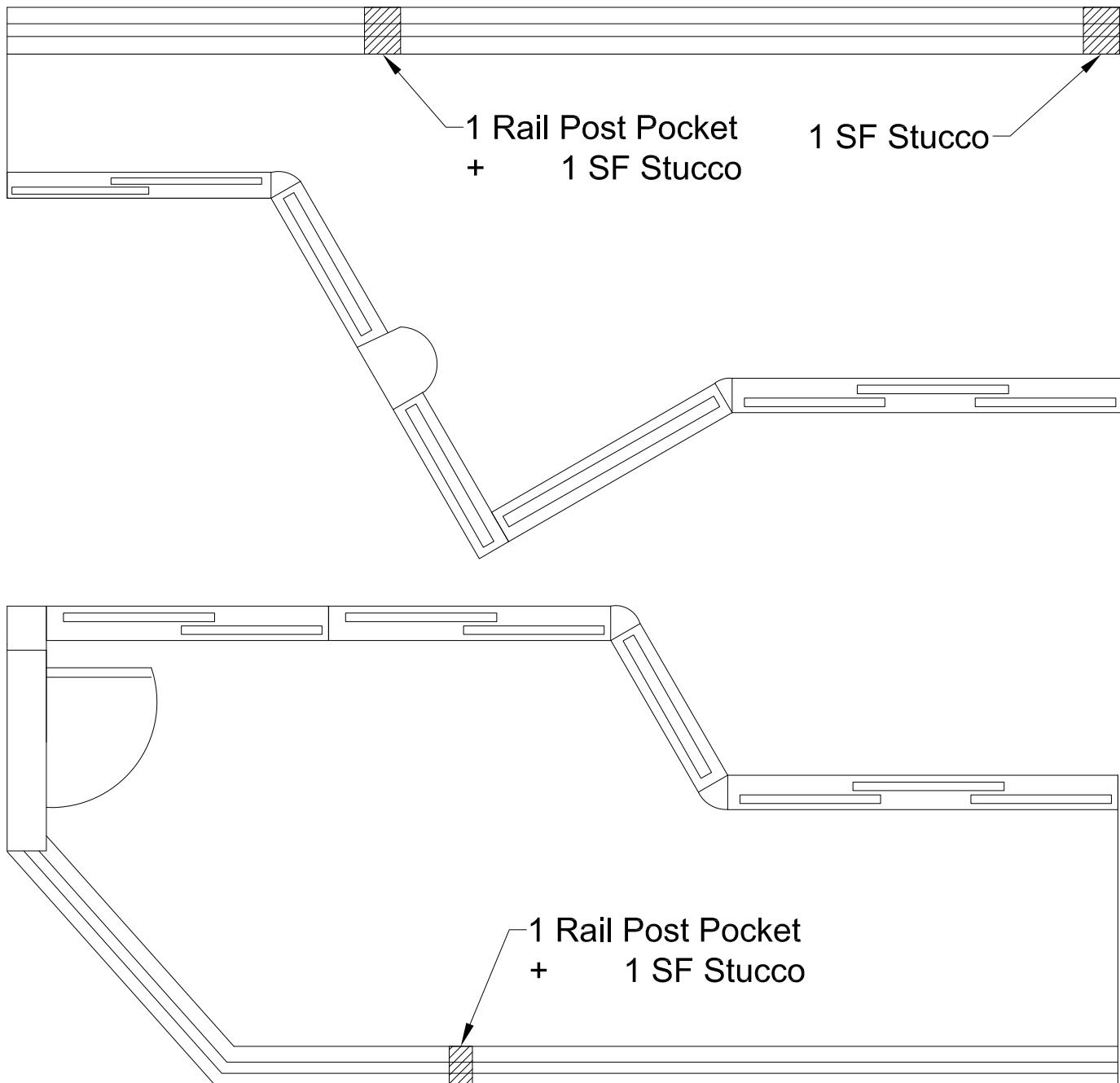
UNIT PH-02

CONCRETE SURVEY
WATERFRONT ON THE OCEAN
CONDOMINIUM
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE
FL REG. ENG. #57831
CA# 26268

DATE: NOV 2023
SCALE: NTS

SHEET NO.
2 OF 7



Rail Post Pocket 2 EA.

Stucco Repair 3 SF.

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) N/A

UNIT 403

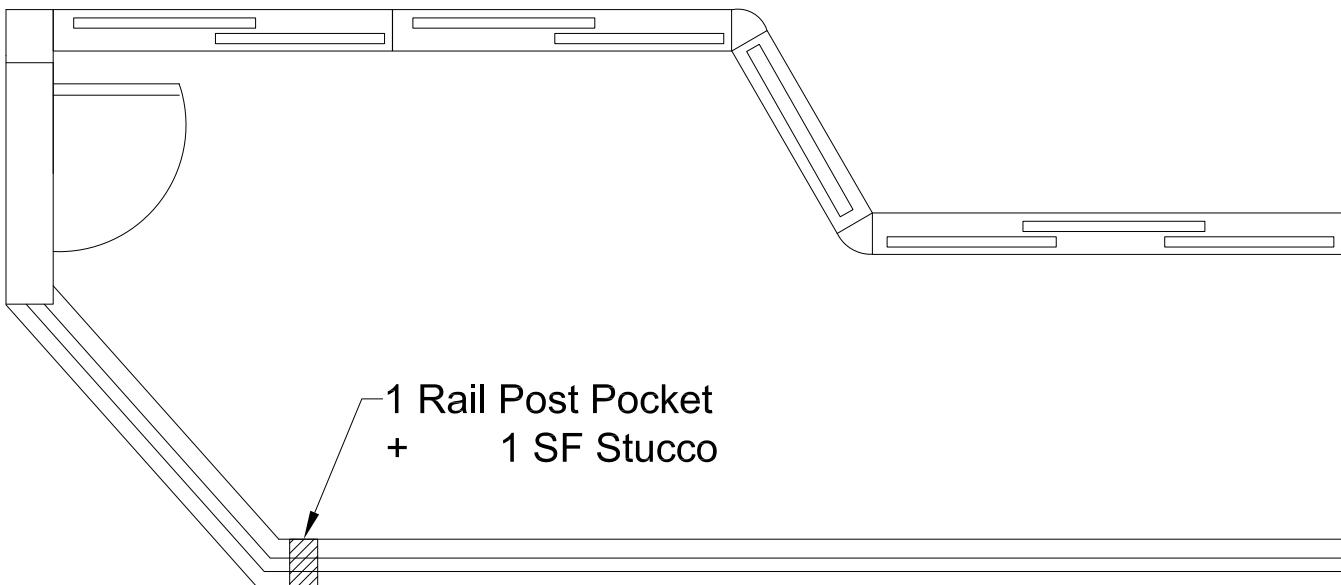
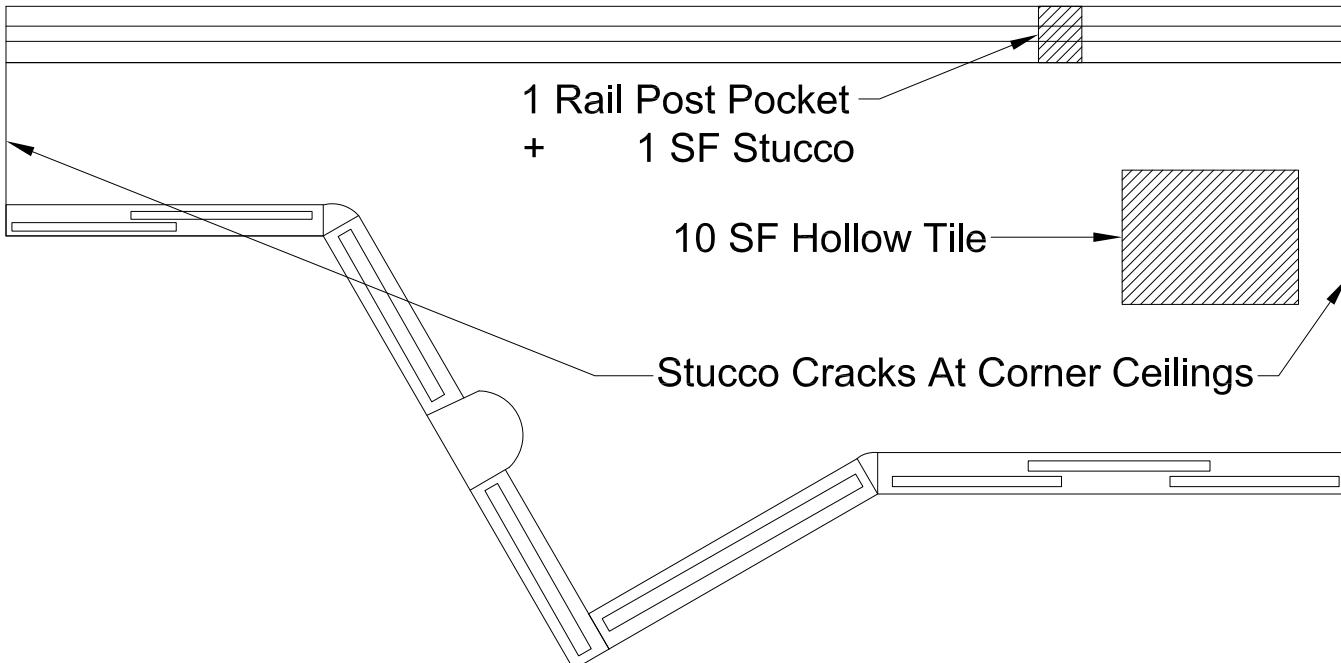


CONCRETE SURVEY
WATERFRONT ON THE OCEAN
CONDOMINIUM
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE
FL REG. ENG. #57831
CA# 26268

DATE: NOV 2023
SCALE: NTS

SHEET NO.
3 OF 7



Rail Post Pocket 2 EA.

UNIT 1103

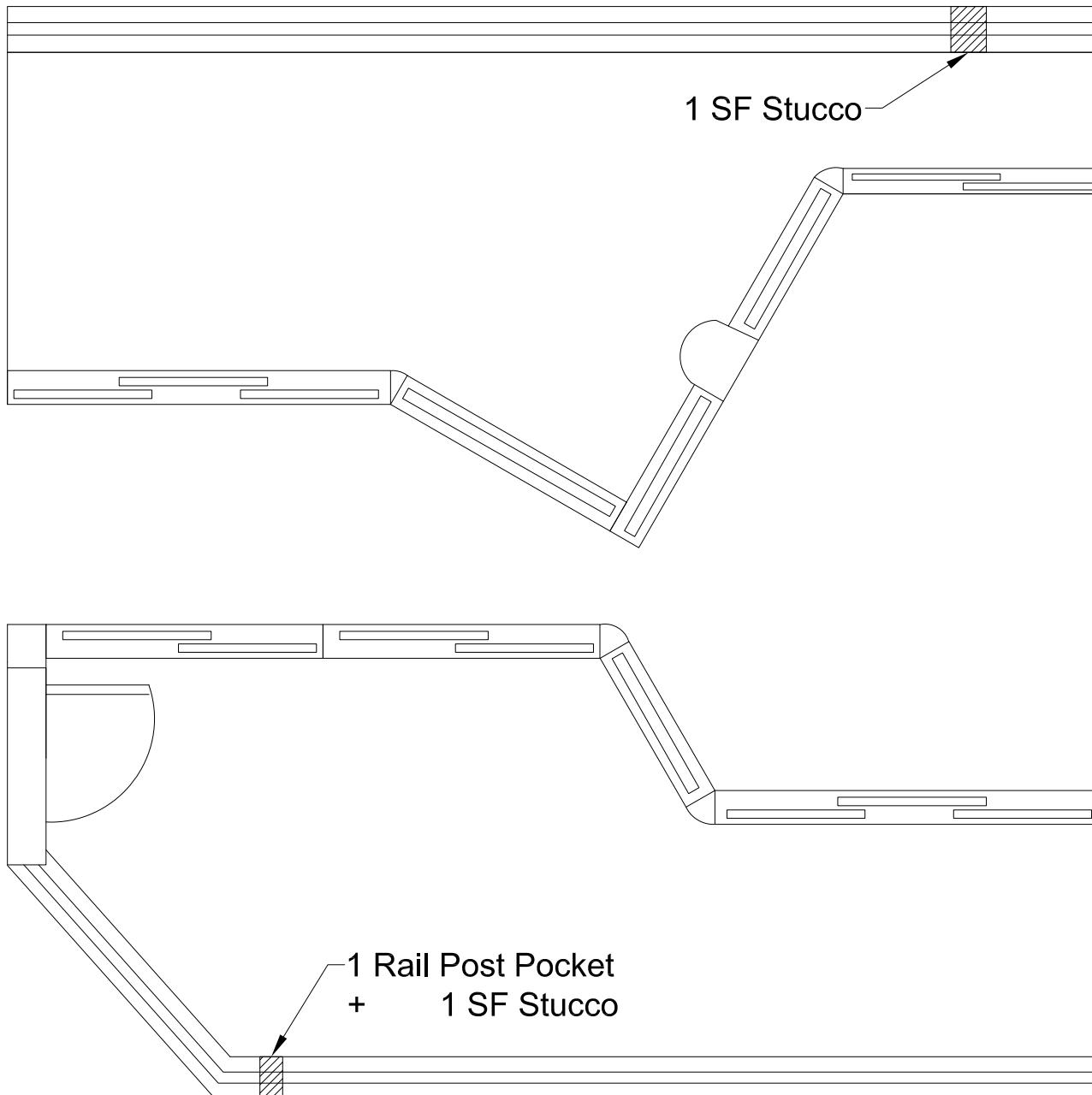
Stucco Repair 2 SF.

Hollow Tile 10 SF.

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) N/A

↗ N



Stucco Repair 2 SF.

Rail Post Pocket 1 EA.

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) ACC

UNIT 1104

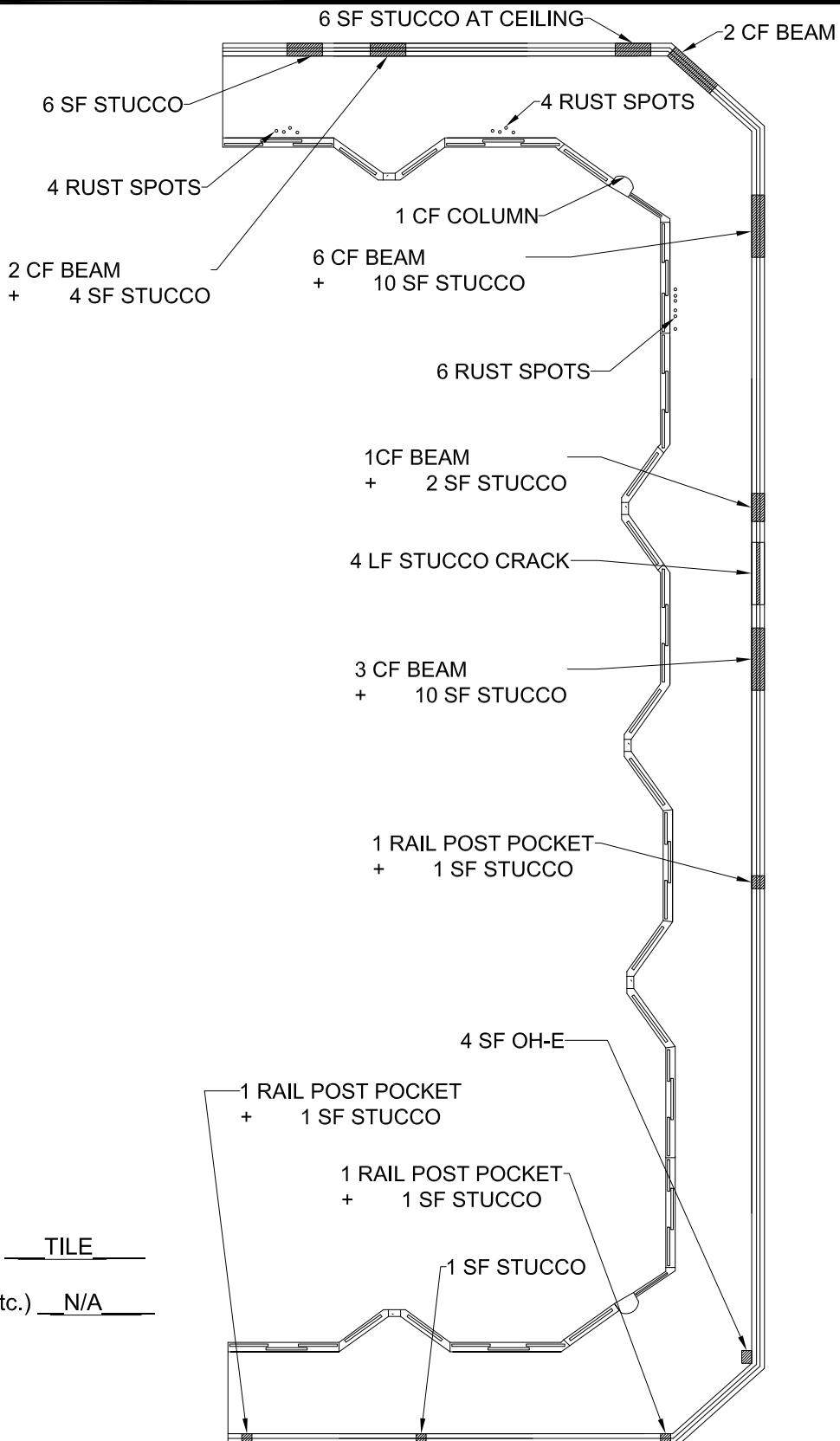


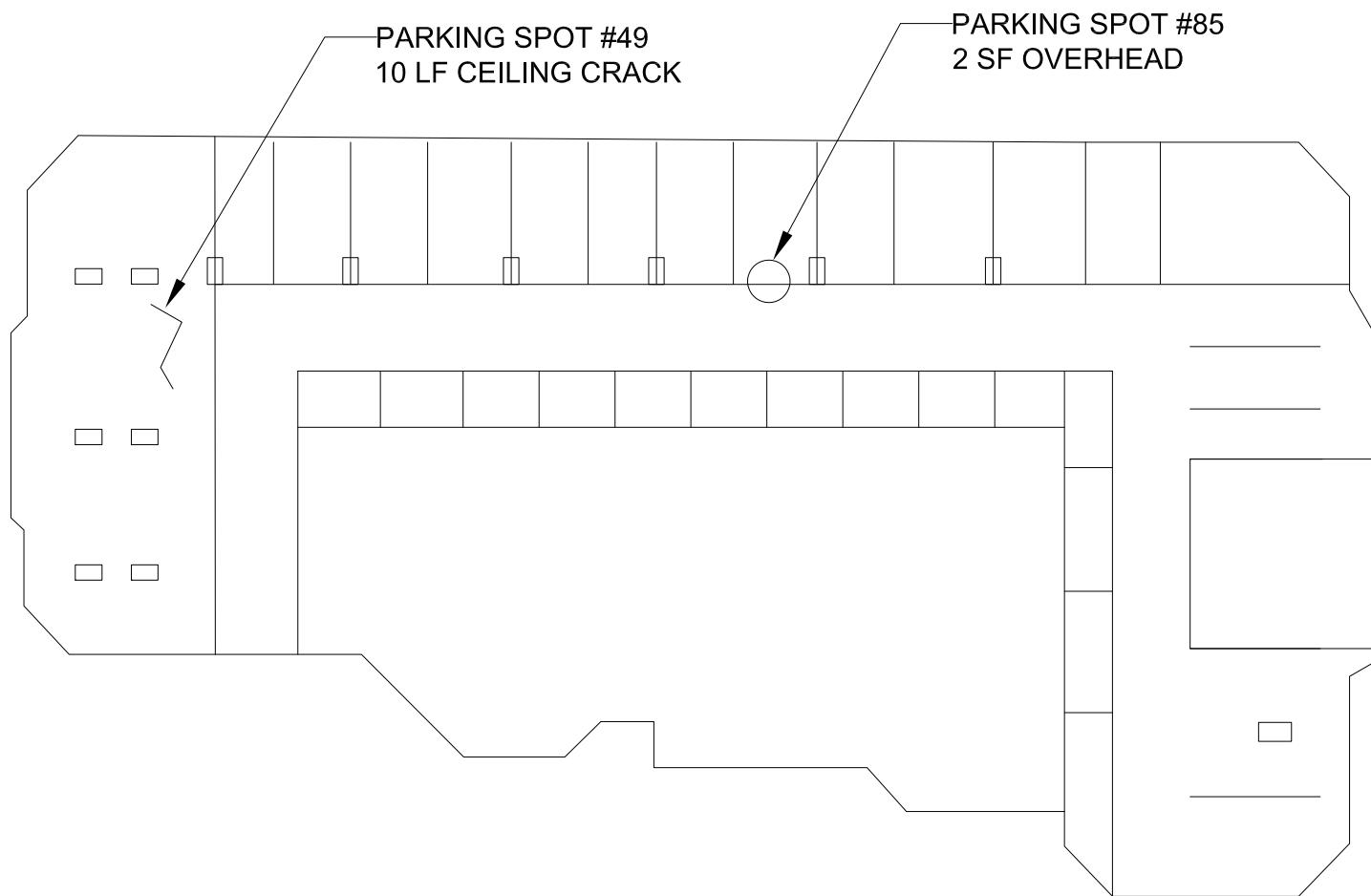
CONCRETE SURVEY
WATERFRONT ON THE OCEAN
CONDOMINIUM
800 OCEAN DRIVE, JUNO BEACH, FL 33408

EDGAR DUENAS, PE
FL REG. ENG. #57831
CA# 26268

DATE: NOV 2023
SCALE: NTS

SHEET NO.
5 OF 7





GARAGE



Ovrhd Repair 2 SF

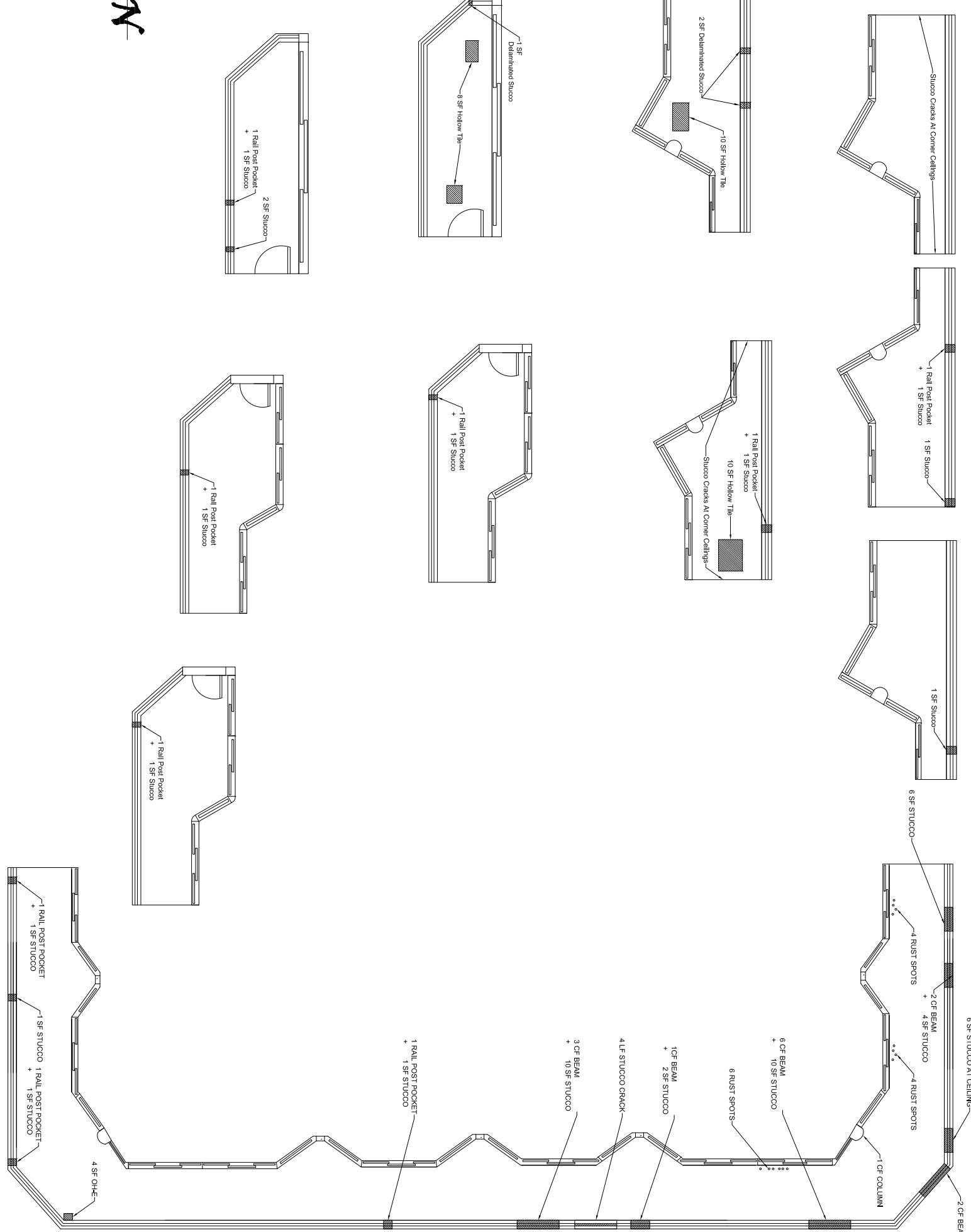
Ceiling Crack 10 LF

Floor Covering (ie. Tile, Kool Deck) TILE

Hurricane Shutters, (i.e. Accordion, etc.) N/A

Ovrhsd Edge	2	LF.
Ovrhsd Repair	4	SF
Column Repair	1	CF
Beam Repair	14	CF
Rail Post Pocket	9	EA
Stucco Repair	55	SF.
Stucco Repair	55	SF.
Hollow Tile	28	SF.
Ceiling Crack	10	LF.

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CONCRETE SURVEY
WATERFRONT ON THE
OCEAN CONDOMINIUM
800 OCEAN DRIVE,
JUNO BEACH, FL 33408

STRUCTURAL SURVEY

**BUNKER ENGINEERING &
CONSTRUCTION SERVICES, INC.**

120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 - FAX #561-585-5697

DATE: APR. 10, 2013

DRAWN BY: KMT
SCALE: NTS
EDGAR DUENAS, P.E.

SHEET
1 OF 1